

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Charlottesville City Council will hold a Public Hearing on **Monday, March 16, 2015 at 7:00 p.m. in the City Council Chambers at City Hall, 605 E. Main Street, Charlottesville**, to consider adoption of an ordinance (“CID Ordinance”) creating a Downtown Charlottesville Community Improvement District (“District”) in the City of Charlottesville. The CID ordinance, if adopted, would impose additional tax on taxable real property and improvements within the District in order to provide additional and enhanced governmental services not being offered uniformly throughout the City of Charlottesville. The proposed additional tax is \$0.13 per \$100 of assessed value. The ordinance provides the City will contract with a non-profit corporation, a majority of whose board members own property in the District and meeting all requirements of Code of Virginia section 15.2-2403.4(B), to provide facilities and services using the funds collected pursuant to the CID ordinance. All interested persons are invited to appear at the City Council public hearing and to express their views on the proposed CID ordinance, or to submit their views in writing to the Clerk of City Council in advance of the public hearing. Copies of the proposed ordinance, which includes a map and listing of the properties to be included within the District, are available from the Clerk of City Council, 2nd Floor, 605 E. Main Street, Charlottesville, VA, and can be viewed on the City’s website at www.charlottesville.org/council. This notice is published pursuant to Virginia Code Sec. 15.2-2400 and Sec. 58.1-3007.

**AN ORDINANCE
AMENDING ARTICLE XVI OF CHAPTER 2
OF THE CHARLOTTESVILLE CITY CODE, 1990 AS AMENDED
RELATING TO ADMINISTRATION BY CREATING
THE DOWNTOWN CHARLOTTESVILLE COMMUNITY IMPROVEMENT DISTRICT
AND
AMENDING ARTICLE XIX OF CHAPTER 30
OF THE CHARLOTTESVILLE CITY CODE, 1990 AS AMENDED
RELATING TO TAXATION BY IMPOSING A DOWNTOWN CHARLOTTESVILLE
COMMUNITY IMPROVEMENT DISTRICT TAX**

WHEREAS, the downtown business community and property owners have expressed a desire that this council form a Community Improvement District to provide additional and enhanced governmental services not being offered uniformly throughout the entire City of Charlottesville to generally enhance public use and enjoyment of the Downtown area of the City of Charlottesville; and

WHEREAS, the authority and procedure for establishment of such a Community Improvement District is contained in Code of Virginia (1950), as amended, sections 15.2-2400, 15.2-2403.4 and other sections referenced therein; and

WHEREAS, the council determines that it is in the best interests of the public, the business community, the local property owners and the economic betterment and revitalization of the Downtown Charlottesville area to establish such a Community Improvement District.

NOW, THEREFORE, BE IT ORDAINED by the Council for the City of Charlottesville that the Code of the City of Charlottesville (1990), as amended, is amended and reordained by the addition of a new Article XVI, entitled "Downtown Charlottesville Community Improvement District" consisting of new sections 2-450, 2-451, 2-452, 2-453, 2-454, 2-455, and 2-456, and a new Article XIX, entitled "Downtown Charlottesville Community Improvement District Tax" consisting of new sections 30-500, 30-501, and 30-502, to read and provide as follows:

ARTICLE XVI. DOWNTOWN CHARLOTTESVILLE COMMUNITY IMPROVEMENT DISTRICT

Sec. 2-450. Downtown Charlottesville Community Improvement District created.

Pursuant to Code of Virginia sections 15.2-2400, 15.2-2403.4 and other sections as referenced therein, a community improvement district is hereby designated and created for the purposes set forth herein to be named the Downtown Charlottesville Community Improvement District.

Sec. 2-451. Downtown Charlottesville Community Improvement District defined.

- (a) The boundaries of the Downtown Charlottesville Community Improvement District shall be defined to include the following area:

Generally, the area west of 9th Street that borders both sides of Market Street, Old Preston Avenue, West and West Main Street and Water Street. More particularly: (I) the area bordered by Ridge McIntire Road on the west, Preston Avenue/West Market Street on the north, Old Preston Avenue on the east, West Main Street on the east, and West Water Street on the south; (II) the area bordered by Old Preston Avenue on the west, West Market Street and East Market Street on the north, 9th Street N.E. on the east, and East Main Street on the south; (III) the area bordered by West Main Street on the west, West Main Street and East Main Street on the north, 9th Street N.E. on the east, and East Water Street and West Water Street on the south; (IV) the area bordered by 2nd Street S.E. on the west, East Water Street on the north, 9th Street S.E. on the east and the currently existing railroad track line on the south; (V) the area bordered by 2nd Street S.W. on the west, West Water Street and East Water Street on the north, 2nd Street S.E. on the east and East South Street and West South Street on the south; (VI) that portion of the area bordered by West Main Street on the west, West Water Street on the north, 2nd Street S.W. on the east and West South Street on the south, which excludes a portion of the area adjacent to 2nd Street S.W. as more particularly shown on the Downtown Charlottesville Community Improvement District Map as defined in Section 2-451(b) of this article; (VII) that portion of the area bordered by 2nd Street N.W. on the west, West Jefferson Street on the north, 1st Street N. on the west and West Market Street on the south, which excludes a portion of the area adjacent to West Jefferson Street as more particularly shown on the Downtown Charlottesville Community Improvement District Map as defined in Section 2-451(b) of this article; (VIII) the area bordered by 1st Street N. on the west, East Jefferson Street on the north, 2^d Street N.E. on the west and East Market Street on the south (i.e., Lee Park); (IX) that portion of the area bordered by 2nd Street N.E. on the west, East Jefferson Street on the north, 9th Street N.E. on the west and East Market Street on the south, which excludes a portion of the area adjacent to East Jefferson Street as more particularly shown on the Downtown Charlottesville Community Improvement District Map as defined in Section 2-451(b) of this article.

- (b) References to street names set out in subsection (a) of this section are based upon and fully shown on a map dated January 12, 2015, entitled "Downtown Charlottesville Community Improvement District" produced by the City of Charlottesville and incorporated by reference herein, a copy of which is on file and available for public inspection in the Office of the

Clerk of Council, City Hall, 605 East Main Street, Charlottesville, Virginia (the "Downtown Charlottesville Community Improvement District Map"). In addition to the Downtown Charlottesville Community Improvement District Map, a list all parcels included within the Downtown Charlottesville Community Improvement District, identified by the city tax map number and street address of each parcel, shall be maintained Office of Economic Development of the City of Charlottesville, and shall be kept on file and available for public viewing in the Office of the Clerk of Council.

- (c) Public utility facilities in or above the public right-of-way, such as poles, lights, wires, cable, conduit and piping shall not be included in the Downtown Charlottesville Community Improvement District or subject to the tax imposed by chapter 30, article XIX, section 500.
- (d) All parcels of land that are bisected by the Downtown Charlottesville Community Improvement District, as set forth in subsection (a) of this section, are to be considered wholly included within the boundaries of said district and will be subject in their entirety to the tax imposed by chapter 30, article XIX, section 500.
- (e) All real property located within the Downtown Charlottesville Community Improvement District as set out in subsection (a) of this section that is otherwise exempt from the payment of real estate taxes shall not be subject to the tax imposed by chapter 30, article XIX, section 500.

Sec. 2-452. Purposes, facilities and services.

The facilities and services provided within the Downtown Charlottesville Community Improvement District shall be additional, more complete and more timely governmental facilities and services than those offered uniformly throughout the city, including but not limited to area marketing and promotions; business recruitment, development and retention; cleaning and beautification; parking facilities and management; physical improvements; infrastructure improvements; visitor informational services; public safety and security; and other facilities, events and activities as set forth in Code of Virginia section 15.2-2403, to enhance the public use and enjoyment of and the public safety, convenience and well-being within the Downtown Charlottesville Community Improvement District.

Sec. 2-453. Proposed city plan for providing facilities and services.

- (a) The plan for providing facilities and services under this article shall be for the city to enter into an agreement with a non-profit corporation formed for the purposes of this article, a majority of whose board members own property in the community improvement district and meeting all requirements of Code of Virginia section 15.2-2403.4 (B), which may include the program set forth in subsection (b). The agreement shall include provisions for presentment to and approval by the city, on the same schedule as all other city departments, of (i) an annual budget and work program, (ii) quarterly requests for the disbursements of funds, (iii) quarterly financial statements and reports on activities, and (iv) books, records and audit reports.
- (b) Provision of the facilities and services proposed by section 2-452 may include, but not be limited to, the implementation of a program encompassing the following components: (1) employment of staff as appropriate for implementation of the program; (2) enhanced signage, including banners, improved street signs and maps; (3) creation and maintenance of a district website; (4) marketing, promotions and advertising; (5) enhanced lighting, security, safety and cleanliness measures, and (6) enhanced furniture, trashcans and beautification measures.
- (c) This article shall be in full force and effect on and after July 1, 2015 and shall expire on June 30, 2020, with the exception that all delinquent taxes owed to the city as a result of the Downtown Charlottesville Community Improvement District tax shall continue to be due and collectable by the city and that all applicable penalties and interest shall apply as set forth in chapter 30, article XIX, section 500 of this Code.
- (d) No later than one hundred eighty (180) days prior to the expiration of this ordinance, with said date being June 30, 2020, the council shall initiate a review of the Downtown Charlottesville Community Improvement District created by this article, and, based upon the findings of the review, decide whether to continue the Downtown Charlottesville Community Improvement District.

Sec. 2-454. Benefits which can be expected.

The creation of the Downtown Charlottesville Community Improvement District is expected to result in the following economic, residential and community benefits: increased market traffic downtown, recruitment of new businesses, expansion and profitability of existing businesses, increased property values, increased conditions for safety, enhanced cleanliness and beautification, increased tourism and increased business and community allegiance to the Downtown area.

Sec. 2-455. Conformity with all applicable zoning and land use regulations.

All construction, renovation, improvements, enhancements or any other actions taken pursuant to this article shall be consistent with all applicable zoning and land use regulations, as determined by the city.

Sec. 2-456. Other powers and duties.

The city and the council have all those powers and duties with respect to the Downtown Charlottesville Community Improvement District as set forth in Code of Virginia section 15.2-2403.

ARTICLE XIX. DOWNTOWN CHARLOTTESVILLE COMMUNITY IMPROVEMENT DISTRICT TAX

Sec. 30-500. Levied; purpose; amount; tax additional to other taxes.

- (a) To provide for additional and enhanced government services in the Downtown Charlottesville Community Improvement District beyond those currently offered uniformly throughout the city, there is hereby imposed and levied an additional tax on taxable real property and improvements subject to local taxation located in the Downtown Charlottesville Community Improvement District as defined in chapter 2, article XVI, section 451 of this Code, which tax is to be paid by the owner of such real property and improvements and is in addition to all other taxes and fees as may be imposed by law. The tax is imposed and levied as follows:

For the period from July 1, 2015 to June 30, 2020, an additional tax at an annual rate of thirteen cents (\$0.13) for every one hundred dollars (\$100.00) of assessed value on taxable real property and improvements in the Downtown Charlottesville Community Improvement District.

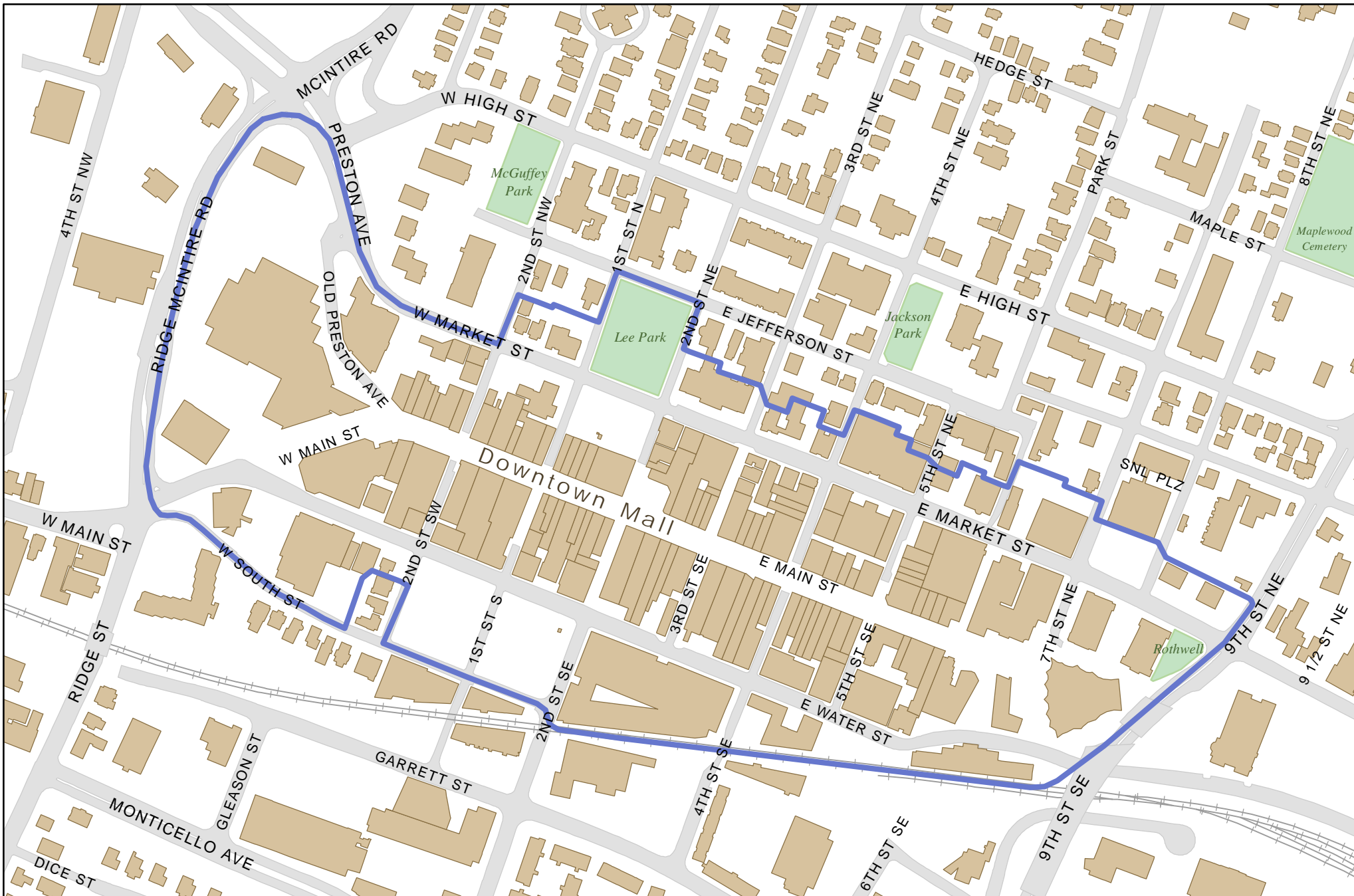
- (b) This article shall be in full force and effect on and after July 1, 2015 and shall expire on June 30, 2020, with the exception that all delinquent taxes owed to the city as a result of the Downtown Charlottesville Community Improvement District tax shall continue to be due and collectable by the city and that all applicable penalties and interest shall apply.
- (c) No later than one hundred eighty (180) days prior to the expiration of this article, with said date being June 30, 2020, the council shall initiate a review of the Downtown Charlottesville Community Improvement District as set forth in Chapter 2, Article XVI, section 453. If council elects to continue the Downtown Charlottesville Community Improvement District, then council shall establish the appropriate rate of taxation.

Sec. 30-501. Assessment; collection; payment.

- (a) Valuation and assessment of real property, timing with respect to valuation, assessment and payment, penalties and interest on delinquencies, assessment of new construction, and all other procedures for and details of assessment, administration and collection of the tax imposed by this section shall be the same as provided by this Code for real estate taxes generally. Costs of collection, accounting for and administering the tax shall be a charge against revenues from the tax.
- (b) Amounts assessed and billed to a property owner which remain unpaid for thirty (30) days shall constitute an automatic lien against such property ranking on a priority with liens for unpaid local taxes and enforceable in the same manner as provided in Code of Virginia sections 58.1-3910 et seq., 58.1-3940 et seq., and 58.1-3965 et seq. All such liens shall remain a personal obligation of the owner of the property at the time liens were imposed.

Sec. 30-502. Receipt and disbursement by city treasurer.

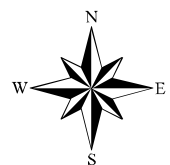
The tax collected is appropriated solely for the Downtown Charlottesville Community Improvement District, and the city treasurer shall deposit all taxes collected into the Downtown Charlottesville Community Improvement District fund with a separate accounting of such funds to be used solely for the purposes authorized by this article and chapter 2, article XVI, sections 450-456.



Downtown Charlottesville Community Improvement District

0 250 500 1,000 Feet

January 12, 2015



List of Parcels included in Proposed Community Improvement District by Property ID and Address
(2/9/15)

PROPERTY ID	ADDRESS
280001000	230 W MAIN ST
280009000	215 W WATER ST
280009100	218-220 W MAIN ST
280010000	210-212 W MAIN ST
280012000	201 W WATER ST
280013000	109-111 W WATER ST
280016000	118-120 W MAIN ST
280016100	108 2ND ST SW
280018000	112 W MAIN ST
280019000	100-106 W MAIN ST
280020000	100 E MAIN ST
280020100	101 E WATER ST
280021000	102 E MAIN ST
280022000	104-106 E MAIN ST
280023000	110-112 E MAIN ST
280024000	114 E MAIN ST
280025000	118 E MAIN ST
280026000	120 E MAIN ST
280026100	109 2ND ST SE
280027000	122 E MAIN ST
280028000	115 E WATER ST
280031000	201 E WATER ST
280034000	208 E MAIN ST
280035000	212 E MAIN ST
280036000	214 E MAIN ST
280036200	215-217 E WATER ST
280036300	3RD ST SE
2800371A0	111 3RD ST SE A
2800371B0	113 3RD ST SE B
2800371C0	221 E WATER ST C
280037A00	222 E MAIN ST A
280037A10	220 E MAIN ST A1
280037B00	109 3RD ST SE B
280037C00	109 3RD ST SE C
280038000	300 E MAIN ST
280040000	306-308 E MAIN ST
280041000	310-312 E MAIN ST
280042000	316 E MAIN ST
280043000	320 E MAIN ST
280044000	322 E MAIN ST

List of Parcels included in Proposed Community Improvement District by Property ID and Address
(2/9/15)

280045000	400 E MAIN ST
280046000	404 E MAIN ST
280047000	406 E MAIN ST
280048000	410 E MAIN ST
280049000	414 E MAIN ST
280050000	416-418 E MAIN ST
280051000	420 E MAIN ST
280051A00	103-105 5TH ST SE
280051B00	107-119 5TH ST SE
280052000	422 E MAIN ST
280058000	401-407 E WATER ST
280060000	4TH ST SE
2800601A0	410 E WATER ST #100
2800601B0	410 E WATER ST #200
2800601C0	410 E WATER ST #300
2800601D0	410 E WATER ST #400
2800601E0	410 E WATER ST #404
2800601F0	410 E WATER ST #406
2800601G0	414 E WATER ST
2800601H0	410 E WATER ST #500
2800601I0	410 E WATER ST #600
2800601J0	410 E WATER ST #700
2800601K0	418 E WATER ST #800
280060200	400 E WATER ST A-B
280061000	200 E WATER ST
280061100	E WATER ST
280061101	200 E WATER ST C-15
280061200	200 E WATER ST
280061300	200 E WATER ST
280061400	200 EAST WATER ST
280061500	200 EAST WATER ST C216
280061600	300 E WATER ST C300
280061700	200 E WATER ST
280061800	200 E WATER ST
280061900	200 E WATER ST C-1
280061A00	200 E WATER ST
280062000	100 E WATER ST
280069000	101 W SOUTH ST
280071000	207 1ST ST S
280072000	200 2ND ST SW
280073000	2ND ST SW

List of Parcels included in Proposed Community Improvement District by Property ID and Address
(2/9/15)

280074000	210 2ND ST SW
280075000	212 2ND ST SW
280079000	200 WEST WATER ST
280080000	210 WEST WATER ST
280080100	214 WEST WATER ST
280080A00	214 WEST WATER ST 100
280080B00	214 W WATER ST 200
280080C00	214 WEST WATER ST 300
280084000	216-218 W WATER ST
280084100	250 WEST MAIN ST 101
280084101	250 W MAIN ST 501
280084110	250 W MAIN ST 503
280084120	250 W MAIN ST 504
280084130	250 W MAIN ST 505
280084140	250 W MAIN ST 602
280084150	250 W MAIN ST 601
280084160	250 W MAIN ST 603
280084170	250 W MAIN ST 604
280084180	250 W MAIN ST 702
280084190	250 W MAIN ST 701
2800841A0	250 W MAIN ST 102
2800841B0	250 W MAIN ST 103
2800841C0	250 W MAIN ST 104
280084200	250 W MAIN ST 201
280084201	250 W MAIN ST #703
280084210	250 W MAIN ST 704
280084220	250 W MAIN ST 802
280084230	250 W MAIN ST 801
280084240	250 W MAIN ST 803
280084250	250 W MAIN ST 804
280084260	250 W MAIN ST 901
280084270	250 W MAIN ST 902
2800842A0	250 W MAIN ST 202
2800842B0	250 W MAIN ST 203
280084300	250 W MAIN ST 300
280084400	250 W MAIN ST 402
280084500	250 W MAIN ST 401
280084600	250 W MAIN ST 403
280084700	250 W MAIN ST 404
280084800	250 W MAIN ST 405
280084900	250 W MAIN ST 502

List of Parcels included in Proposed Community Improvement District by Property ID and Address
(2/9/15)

280084A00	216 W WATER ST C-101
280084B00	216 W WATER ST C-102
280084C00	216 W WATER ST C-103
280084D00	216 W WATER ST C-104
280084E00	218 W WATER ST EH-2
280084F00	218 W WATER ST C-300
280084G00	218 W WATER ST C-400
280084H00	218 W WATER ST C-500
280084I00	218 W WATER ST 601
280084J00	218 W WATER ST 602
280084K00	218 W WATER ST 604
280084L00	218 W WATER ST 605
280084M00	218 W WATER ST 606
280084N00	218 W WATER ST 608
280084O00	218 W WATER ST 701
280084P00	218 W WATER ST 703
280084Q00	218 W WATER ST 704
280084R00	218 W WATER ST 705
280084S00	218 W WATER ST 706
280084T00	218 W WATER ST 708
280084U00	218 W WATER ST 801
280084V00	218 W WATER ST 802
280084W00	218 W WATER ST 803
280089000	250 W MAIN ST
330155100	300 PRESTON AVE
330155300	255 W MAIN ST
330155L00	212 RIDGE MCINTIRE RD
330175000	113 W MARKET ST
330176000	107-109 W MARKET ST
330178000	201 1ST ST N
330195000	101 E MARKET ST
330196000	201 E MARKET ST
330215000	301 E MARKET ST
330216000	307 E MARKET ST
330218000	313 E MARKET ST
330219000	121-123 4TH ST NE
330220000	310 E MARKET ST
330221000	300 E MARKET ST
330222000	114 3RD ST NE
330223000	308 E MARKET ST
330224000	113 4TH ST NE

List of Parcels included in Proposed Community Improvement District by Property ID and Address
(2/9/15)

330225000	111 4TH ST NE
330226000	321 E MAIN ST
330227000	319 E MAIN ST
330228000	317 E MAIN ST
330229000	313 E MAIN ST
330230000	309-311 E MAIN ST
330231000	301 E MAIN ST
330232000	105 3RD ST NE
330233000	225 E MAIN ST
330234000	223 E MAIN ST
330235000	221 E MAIN ST
330237000	215 E MAIN ST
330238000	204-206 E MARKET ST
330240000	204-206 E MAIN ST
330240100	201 E MAIN ST
330241000	108 2ND ST NE
330242000	110-112 2ND ST NE
330243000	200 E MARKET ST
330244000	102-104 1ST ST N
330245000	119-123 E MAIN ST
330245100	E MARKET ST
330248000	101-111 E MAIN ST
330254000	112 W MARKET ST
330255000	101 W MAIN ST
330256000	105 W MAIN ST
330257100	107 W MAIN ST 2
330257200	107 W MAIN ST 2
330257300	107 W MAIN ST
330257400	107 W MAIN ST
330258000	109 W MAIN ST
330259000	113 W MAIN ST
330260000	117-119 W MAIN ST
330261000	121 W MAIN ST
330262000	W MARKET ST & 2ND ST NW
330263000	200 W MARKET ST
330265000	115 2ND ST NW
330266000	201-207 W MAIN ST
330268000	211 W MAIN ST
330269000	213 W MAIN ST
330270000	206 W MARKET ST
330271000	210-216 W MARKET ST

List of Parcels included in Proposed Community Improvement District by Property ID and Address
(2/9/15)

330272000	219-221 W MAIN ST
330273000	223 W MAIN ST
330274000	225-227 W MAIN ST
330276000	218 W MARKET ST
330277000	220 W MARKET ST
330278000	114 OLD PRESTON AVE
530051000	401 E MARKET ST
530053000	415 E MARKET ST
530054000	414 E MARKET ST
530054101	404 E MARKET ST 101
530054102	406 E MARKET ST 102A
530054104	408 E MARKET ST 104A
530054105	408 E MARKET ST 105
530054106	408 E MARKET ST 106
530054107	408 E MARKET ST 107
530054108	408 E MARKET ST 104B
530054200	408 E MARKET ST 201A
530054201	408 E MARKET ST 201B
530054202	408 E MARKET ST 202
530054203	408 E MARKET ST 203
530054204	408 E MARKET ST 204
530054205	408 E MARKET ST 205
530054206	408 E MARKET ST 206
530054207	408 E MARKET ST 207
530054208	408 E MARKET ST 208
530054301	408 E MARKET ST 301
530054302	408 E MARKET ST 302
530054303	408 E MARKET ST 303
530054304	408 E MARKET ST 304
530054305	408 E MARKET ST 305
530054306	408 E MARKET ST 306
530054307	408 E MARKET ST 307
530054308	408 E MARKET ST 308
530054A00	410 E MARKET ST 103A
530054AA0	408 E MARKET ST
530054B02	406 E MARKET ST 102B
530055000	400-402 E MARKET ST
530056000	112-114 4TH ST NE
530057000	110 4TH ST NE
530058000	108 4TH ST NE
530059000	401-07 E MAIN ST

List of Parcels included in Proposed Community Improvement District by Property ID and Address
(2/9/15)

530060000	411-13 E MAIN ST
530061000	415-417 E MAIN ST
530062000	419-421 E MAIN ST
530064000	425-427 E MAIN ST
530064A00	423 E MAIN ST
530065000	508 E MAIN ST
530065200	506 E MAIN ST
530065300	100 5TH ST SE
530065400	102 5TH ST SE
530065500	104 5TH ST SE
530065600	106 5TH ST SE
530065700	108 5TH ST SE
530067000	510 E MAIN ST
530068000	512-520 E MAIN ST
530070000	524 E MAIN ST
530072000	112 5TH ST SE
530072A00	110 5TH ST SE A
530072B00	501 E WATER ST
530072C00	503 E WATER ST
530072D00	505 E WATER ST
530072E00	507 E WATER ST
530072F00	509 E WATER ST
530072G00	112 5TH ST SE 3A
530072H00	112 5TH ST SE 3B
530072I00	112 5TH ST SE 3C
530072J00	112 5TH ST SE 3D
530072K00	112 5TH ST SE 3E
530072L00	112 5TH ST SE 3F
530072M00	112 5TH ST SE 4A
530072N00	112 5TH ST SE 4B
530072O00	112 5TH ST SE 4C
530072P00	112 5TH ST SE 4D
530072Q00	112 5TH ST SE 4E
530072R00	112 5TH ST SE 4F
530072S00	112 5TH ST SE 5A
530072T00	112 5TH ST SE 5B
530072U00	112 5TH ST SE 5C
530072V00	112 5TH ST SE 5D
530074000	511 E WATER ST
530075000	515 E WATER ST
530077A00	530 E MAIN ST A

List of Parcels included in Proposed Community Improvement District by Property ID and Address
(2/9/15)

530077B00	534 E MAIN ST B
530077C00	534 E MAIN ST C&D
530080000	605 E MAIN ST& 7TH ST NE
530091000	E MAIN ST & E MARKET ST
530091L00	500 E MARKET ST
530091LA0	106 5TH STREET NE
530091LB0	102 5TH ST NE
530091LC0	110 5TH ST NE
530091LD0	503 E MAIN ST
530091LE0	505 E MAIN ST
530091LF0	507 E MAIN ST
530091LG0	513 E MAIN ST
530091LH1	100 5TH ST NE
530091LH2	100 5TH ST NE
530091LH3	100 5TH ST NE
530091LI0	500 E MARKET ST
530091LJ0	500 E MARKET ST
530091LK1	500 E MARKET ST
530093000	206 5TH ST NE
530097000	503 E MARKET ST
530100000	601-617 E MARKET ST
530159000	701 E MARKET ST
530160000	120 7TH ST NE
530162100	600 E WATER ST
530162300	550 E WATER ST
530164000	830 E MARKET ST
530169000	801-805 E MARKET ST
530170000	9TH ST & E MARKET ST